

EXHIBIT I

FEE SCHEDULE AT A GLANCE

Type Of Work	Submission/ Permit Fee	Compliance Deposit	Approval Required	Permit Required
New Residence	\$35/100sq ft	\$9000	YES	YES
Building Additions- major, e.g. Garage, room, porch, deck, pool, lanai, dormer, etc.	\$500	\$1500	YES	YES
Building Additions-minor, e.g. Gazebo, pergola, landscape renovation (major), conversion of screened porch to glass, solar panels, walkway/driveway/ parking area modification or replacement.	\$150	\$500	YES	YES
Change request after ARB Approval + multiple changes can be made on a single change order	\$100	0	YES	NO
Inspection Deposit	\$2250	0	YES	NO
Road Impact Fee: New Homes Major Additions Alterations, Minor Additions	\$500 \$200	0 0	YES YES	NO NO
Painting/Staining with a different color	0	\$250	YES	YES
Repainting entire house with same color.	0	\$250	YES	YES
Roof Replacement	0	\$250	YES	YES
Driveway Replacement	0	\$250	YES	YES
Tree Removal	\$25	0	YES	YES
Underbrush Removal/ Bush Hogging	0	0	NO	NO

Checks for the submission/permit fee and the compliance deposit are to be completed separately. Each check is to be made payable to Palmetto Hall Plantation ARB.

Compliance deposits are refundable per the terms of the application. Submission/permit fees are non-refundable.

Depending on the property owner's arrangements with the contractor, the above fee and/or compliance deposit can be paid by either the owner or the contractor. See the ARB Application for Residential Property relative to the refund policy.

The ARB meets on the first and third Monday of each month if there are plans or actions to review. Call the POA office to confirm. Submissions are due by the preceding Monday. Adherence to the submission deadline is required. The ARB is not obligated to review late or incomplete submissions.

Ultimately, any work being accomplished on a property in Palmetto Hall is the responsibility of the owner, regardless whether there are any fines or deposits involved. The property owner has the responsibility to repair or replace any damage to a neighbor's or to PHP Common property, for any of the above types of work.

As a general rule, any man-made structure over 30" high requires ARB approval.

*In effect as of January 1, 2010 and are subject to change.

Property Purchase Date
____/____/____



PALMETTO HALL
Architectural Review Board

Submission Date
____/____/____

APPLICATION FOR RESIDENTIAL BUILDING PERMIT

PROPERTY:

Lot Number _____
 Street Address _____
 Property Owner _____
 Home Address _____
 Telephone No. (H) _____
 (W) _____
 Architect/Designer _____
 Address _____
 Telephone No. _____

TYPE OF RESIDENCE:

____ Primary Residence ____ Rental
 ____ Second Home ____ Spec/Investment
 Builder _____
 Address _____
 Fax No. _____
 Telephone No. _____
 Emergency No. _____
 Landscaper _____
 Address _____
 Telephone No. _____

Bldr. License # _____

Enclosed is a copy of the Palmetto Hall Architectural Review Board Standards for Review. Please refer to this document for detailed requirements.

CHECKLIST FOR DOCUMENTS REQUIRED AT SUBMISSION

Refer to PHARB Guidelines pages 4 and 5

Application _____ Color Board _____
 Site Plan _____ Photos _____
 House Plans _____ Landscape Plan _____
 Drainage Plans _____

FEES

Refer to Fee Schedule and Guidelines pages 3 and 6

Submission _____ Compliance _____ Road Impact _____
 Re-Inspection _____ Sewer/Water _____ (contact HHI#1PSD)

PERMITS

Refer to Guidelines page 6

ARB Clearing Permit _____ ARB Building Permit _____
 ARB Framing Inspection _____ ARB Driveway Prepour _____

SURVEY/CERTIFICATE REQUIREMENTS

Refer to Guidelines pages 5 and 7

Foundation _____ Elevation _____ Occupancy _____
 As-Built _____ Color Prints _____ Maintenance Contract _____
 Drainage Confirmation _____

ENCLOSED DWELLING AREA

First Floor _____ sq. ft + _____ = _____ sq. ft.
 (heated) (Screened Porch)

Second Floor _____ sq. ft + _____ = _____ sq. ft.
 (heated) (Screened Porch)

Total Heated _____ sq. ft + _____ = _____ sq. ft.
 (heated) (Screened Porch)

Enclosed dwelling area is the total area enclosed in a dwelling and includes areas of screened porches. If the roof of such porches forms an integral part of the roof line of the main dwelling or if they are on the ground floor of a two-story dwelling. Areas of garages, patios, terraces, decks, open porches even though attached to the dwelling are specifically excluded.

Minimum square footage requirements: 2,000 sq. ft. **See Note.** Utility/irrigation boxes (includes electric meters and cable TV boxes) are to be located in a service yard type enclosure surrounded by landscaping.

Note: Tucker Ridge minimum sq. footage requirements: 1,600 sq. feet

ELEVATIONS

Existing Elevation at Center of Building Footprint Above MSL _____ ft.
 Proposed fill/grade Elevation Above MSL _____ ft.
 First Floor Elevation Above MSL
 Subject Home _____ ft.
 Home - Adjoining lot on left _____ ft.
 Home - Adjoining lot on right _____ ft.
 Home - Adjoining lot on rear _____ ft.

Maximum Roof Height
 Above first finished floor _____ ft.
 Deck(s) elevation above finished grade _____ ft.
 Pool/Surrounding Deck
 Elevation Above Finished Grade _____ ft.

Fill/grading is to prevent standing water by sloping to available drainage (lagoon, culvert, swale, etc.), assure no runoff to adjoining properties and promote a smooth/natural transition between existing grades of adjoining properties and the subject property itself.

Exposed foundation elevation minimum is 2 feet above finished grade. Slab on grade is not permitted.

All: Maximum roof height allowed is 47 ft. above average natural grade.

SETBACKS

	Required	As Submitted
House		
Front	30 ft.	_____ ft.
Rear	50 ft.	_____ ft.
Right	15 ft.	_____ ft.
Left	15 ft.	_____ ft.

VARIANCES NOT GRANTED WITHOUT GOOD CAUSE

Variance (if any)	Reason(s) for Variance Request
_____ ft.	_____
_____ ft.	_____
_____ ft.	_____
_____ ft.	_____

Tucker Ridge Requirements: Front 30 ft. Rear none. Right 5 ft. Left 5 ft.

Pool/Surrounding Deck/Enclosure (under 3 ft. in height)	Required	As Submitted
Rear	20 ft.*	_____ ft.
Right	20 ft.	_____ ft.
Left	20 ft.	_____ ft.

_____ ft.	_____
_____ ft.	_____
_____ ft.	_____

Pool/Surrounding Deck/Enclosure (under 3 ft. in height)	Required	As Submitted
Rear	40 ft.	_____ ft.
Right	20 ft.	_____ ft.
Left	20 ft.	_____ ft.

_____ ft.	_____
_____ ft.	_____
_____ ft.	_____

House setbacks are measured from nearest vertical construction over 3 ft. in height and include service yard/mechanical platform and all decks, planters, landings, stairs, etc.

*Pool bordering an amenity (lagoon, golf course, etc.) - minimum setback is 30 ft.
 A pool enclosure is a screen, courtyard, etc.

EXTERIOR MATERIALS & COLORS

ARB WRITTEN APPROVAL REQUIRED PRIOR TO APPLICATION/INSTALLATION

A COLOR BOARD WITH CHIPS OF ALL KEY COLORS/MATERIALS IS REQUIRED. Larger color samples on the intended materials (wood siding, stucco, etc.) can be requested. All vertical construction (includes hand/deck rails, stair risers, chimney screens, roof/wall vents etc.) is to be painted/stained. Be specific - show manufacturer or brand name and number in the description column below.

	Material	Color	Description
Roof	_____	_____	_____
Foundation (Masonry)	_____	_____	_____
Foundation (Wood)	_____	_____	_____
Siding (Masonry)	_____	_____	_____
Siding (Wood)	_____	_____	_____
Deck/Stair Rails	_____	_____	_____
Chimney (incl. screen)	_____	_____	_____
Fascia	_____	_____	_____
Trim	_____	_____	_____
Columns	_____	_____	_____
Shutters	_____	_____	_____
Windows	_____	_____	_____
Garage Doors	_____	_____	_____
Exterior Doors	_____	_____	_____
Front Door	_____	_____	_____
Drive - Paving	_____	_____	_____
Walks - Paving	_____	_____	_____
Pool	_____	_____	_____
Pool Deck	_____	_____	_____
Pool Enclosure	_____	_____	_____
Other	_____	_____	_____

ARE THESE PLANS EXACT OR MODIFIED PLANS OF A STRUCTURE PREVIOUSLY : IF YES: Exact _____ Modified _____

PALMETTO HALL ARB APPLICATION FOR RESIDENTIAL PROPERTY

Application for construction of a single family residential structure within Palmetto Hall is made by the parties below with the full knowledge and understanding of the Palmetto Hall Recorded Covenants and the Standards for Review published and enforced by the Palmetto Hall Plantation Architectural Review Board (PHARB) and the parties below agree to adhere to same.

Owner, Builder, and Landscaper are responsible for adherence to all policies as set forth in the Palmetto Hall Covenants/PHARB Standards for Review PHARB Application for Residential Building Permit and for adherence to the building and landscaping plans as they were submitted to and approved. Any changes to approved plans must be submitted for approval along with a new set of plans and approved prior to site changes. The ARB is very sensitive to homes situated on golf courses/lagoons. Therefore, any intended clearing in 20 ft. of the golf course or waterfront must be approved prior to such intended clearing. Wax myrtles are sometimes abundant along the lagoons and these need to be preserved from an ecological and erosion control standard. Removal of trees other than those shown on the final approved site plan or subsequently approved by the ARB is not permitted. Unapproved clearing/plan changes constitute non-compliance and fines and/or penalties will be imposed. Throughout the construction period, the site will be inspected by the PHARB Inspector, Administrator, and Board Members to determine continuing compliance with Palmetto Hall Covenants/PHARB Standards for Review/PHARB Application for Residential Building Permit/PHARB approved plans. Failure of any PHARB Inspector/Board Member to detect or object to an unauthorized design change or other non-compliance matter during the construction process does not relieve the owner/building/landscaper of any obligation to correct the non-compliance.

The Owner and/or Building hereby acknowledge that the funds so deposited will be deposited in an interest bearing account with interest accruing to the benefit of the PHARB. The Owner and/or Builder further acknowledge and agree that such funds shall be retained by the PHARB pending satisfactory completion of the Project in accordance with plans approved by the Board and in accordance with the Palmetto Hall Covenants/PHARB Guidelines and Policies/PHARB Application for Residential Building Permit. The Owner and/or Builder further acknowledge the PHPOA ARB's right to contract for clean-up should the contractor fail to keep the premises in proper order and retain the cost of such clean up from the compliance deposit and to contract for landscaping should the owner fail to complete the Project on a timely basis, or failure to construct the Project in accordance with the approved plans, or failure to comply with the rules or conditions noted herein, the PH Covenants and the PHARB Standards for Review/Policies. Such penalties, which may be established and periodically modified by the PHARB at its sole discretion, from time to time, shall be deducted from the funds deposited by the Owner and/or Builder, but without further accounting to the parties involved. Any legal or other expenses incurred by the PHARB relative to a matter of non-compliance shall likewise be deducted from funds deposited by the Owner and/or Builder.

APPLICANTS WILL BE NOTIFIED IN WRITING OF ALL DECISIONS OF THE PHARB WITHIN 10 WORKING DAYS OF THE ARB MEETING. ORAL REPRESENTATIONS of any ARB decision shall be non-binding on the PHARB. No approval of plans/location/specifications and no publication of architectural standards bulletins by the Architectural Review Board shall ever be construed as representing/implying that such plans/specification/standards will, if followed, result in a properly designed residence or that such standards comply with pertinent law. Such approvals and standards shall in no event be construed as representing or guaranteeing that any residence will be built in good workmanlike manner. NO IMPLIED WARRANTIES OF GOOD WORKMANSHIP, DESIGN, HABITABILITY, QUALITY, FITNESS FOR PURPOSE OR MERCHANTABILITY SHALL ARISE AS A RESULT OF ANY PLANS, SPECIFICATIONS, STANDARDS, OR APPROVALS MADE OR PUBLISHED PALMETTO HALL, OR THE ARCHITECTURAL REVIEW BOARD, THEIR SUCCESSORS or ASSIGNS.

Owner, Architect and Builder also certify by signing below that water conservation devices are included in the design/construction of this residence.

This application is to be completed in its entirety and signed by all parties prior to the issuance of any Palmetto Hall Architectural Review Board permits. By signing, all parties acknowledge receiving, understanding, and accepting the Standards for Review and that all information provided on this application is true and correct.

ACKNOWLEDGED BY:

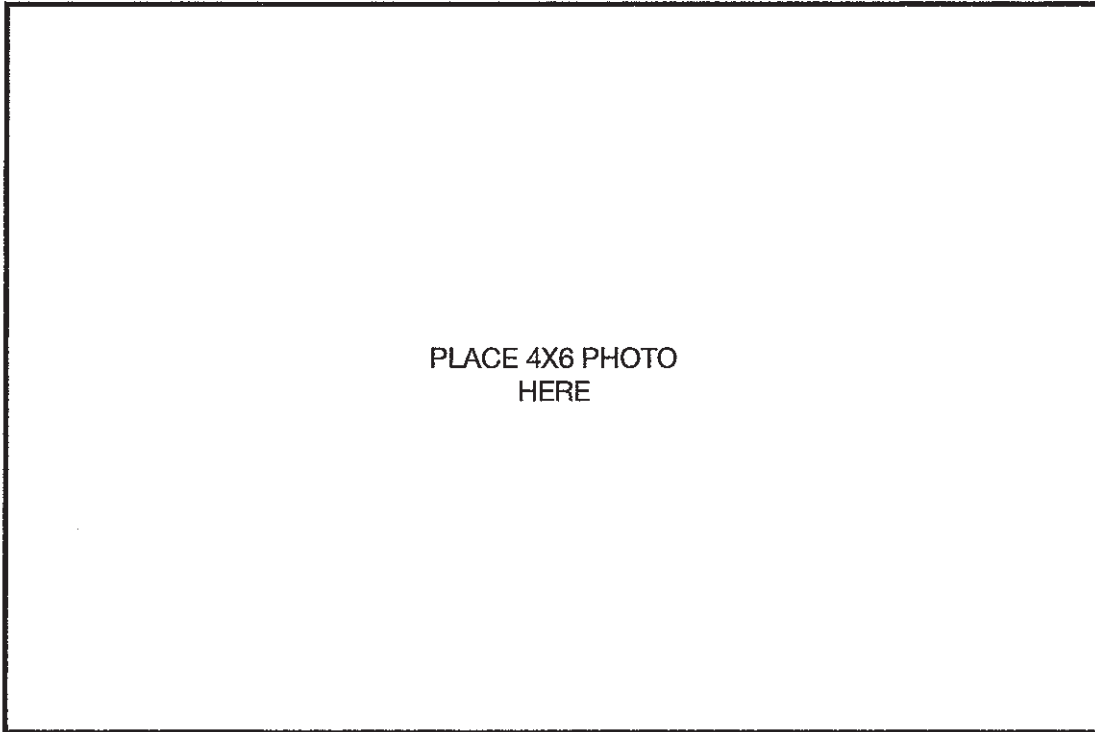
Owner _____ Architect/Designer _____
Owner _____ Builder/Contractor _____
Owner _____ Landscaper _____

PHARB REFUND CHECKS FOR COMPLIANCE DEPOSIT MONIES WILL BE REFUNDED TO THE PARTY WHO PAID THE MONIES.

Owner _____ Date _____



PALMETTO HALL
APPLICATION FOR RESIDENTIAL BUILDING PERMIT
Photo Sheet



PLACE 4X6 PHOTO
HERE

Subject Home's Exterior Elevation
Front _____ Rear _____ Right _____ Left _____

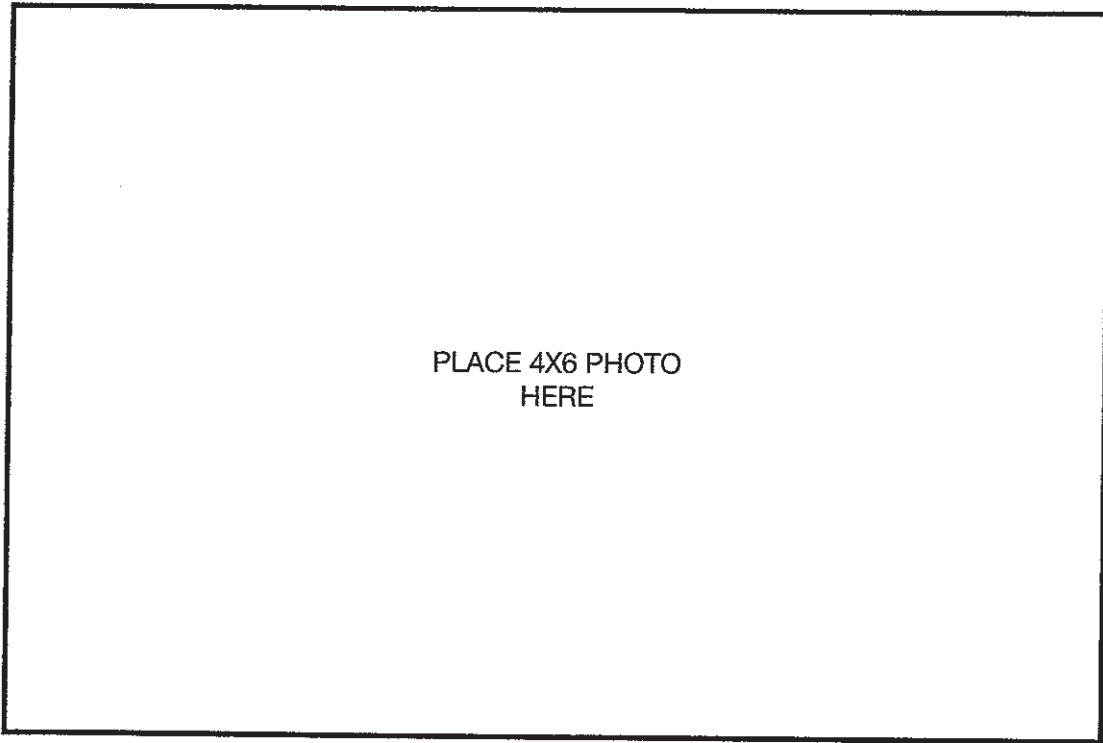


PLACE 4X6 PHOTO
HERE

Subject Home's Exterior Elevation
Front _____ Rear _____ Right _____ Left _____

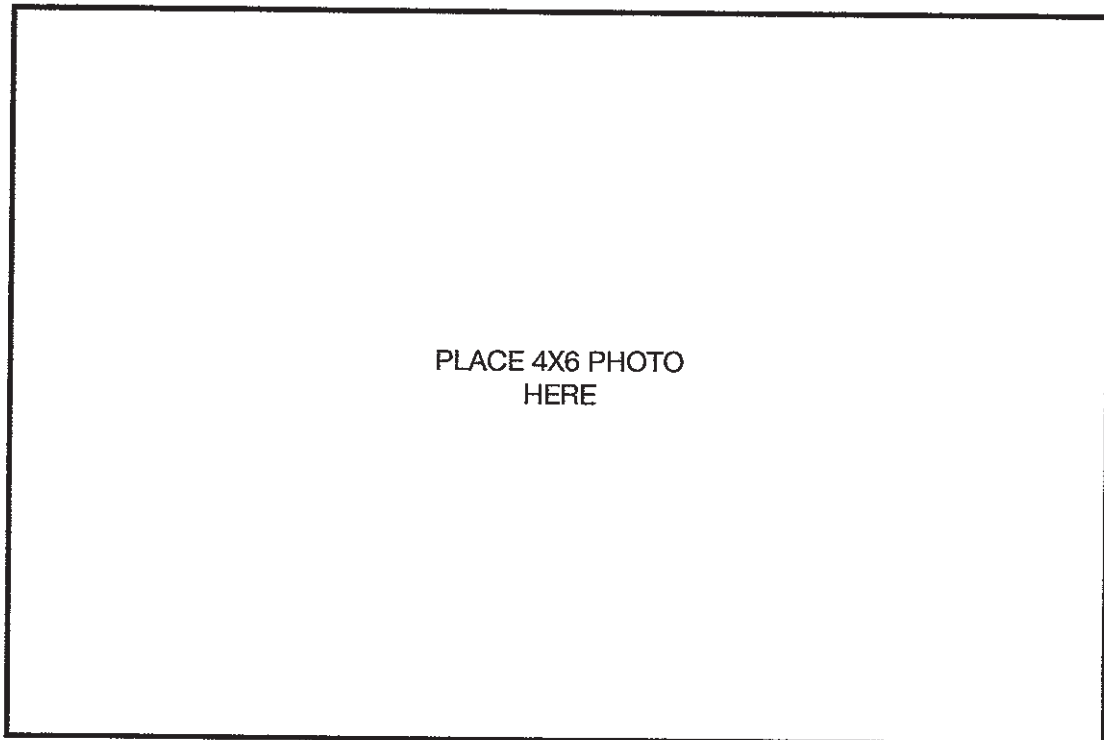


PALMETTO HALL
APPLICATION FOR RESIDENTIAL BUILDING PERMIT
Photo Sheet



PLACE 4X6 PHOTO
HERE

Subject Lot's Front



PLACE 4X6 PHOTO
HERE

Subject Lot's Rear



PALMETTO HALL
APPLICATION FOR RESIDENTIAL BUILDING PERMIT
Photo Sheet

PLACE 4X6 PHOTO
HERE

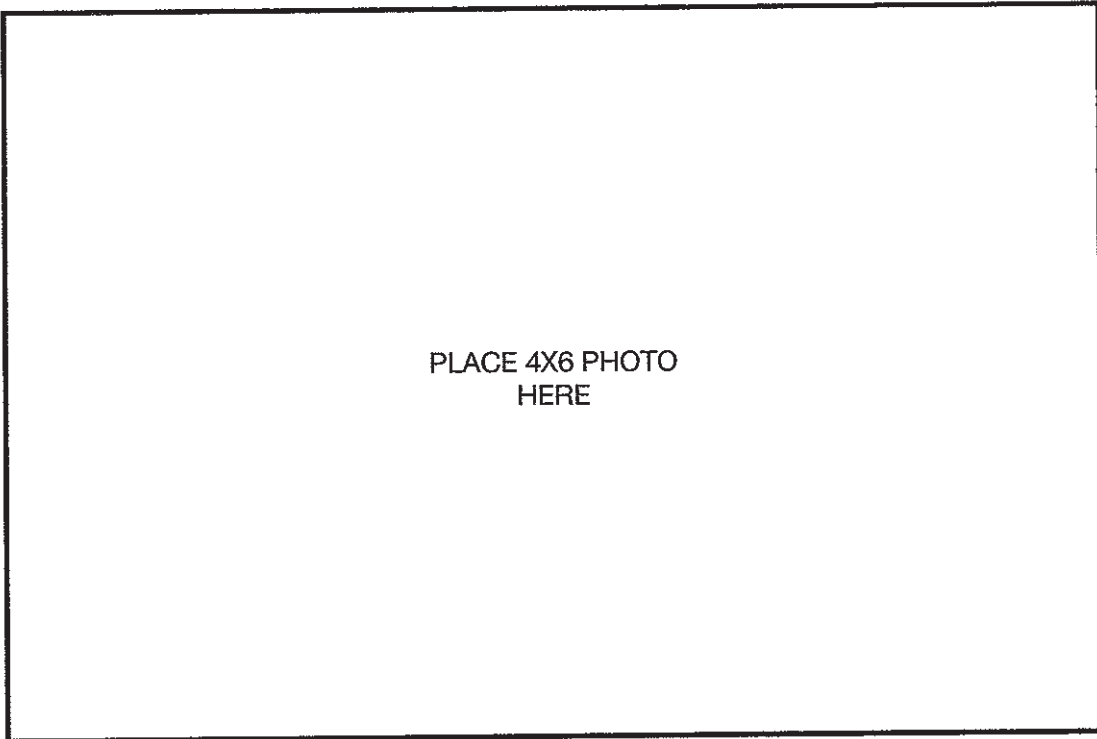
Subject Home's Exterior Elevation
Front _____ Rear _____ Right _____ Left _____

PLACE 4X6 PHOTO
HERE

Subject Home's Exterior Elevation
Front _____ Rear _____ Right _____ Left _____



PALMETTO HALL
APPLICATION FOR RESIDENTIAL BUILDING PERMIT
Photo Sheet



PLACE 4X6 PHOTO
HERE

Front of Adjoining House on
Left _____ Right _____



PLACE 4X6 PHOTO
HERE

Rear of Adjoining House on
Left _____ Right _____



PALMETTO HALL
APPLICATION FOR RESIDENTIAL BUILDING PERMIT
Photo Sheet

PLACE 4X6 PHOTO
HERE

Front of Adjoining House on
Left _____ Right _____

PLACE 4X6 PHOTO
HERE

Rear of Adjoining House on
Left _____ Right _____

Palmetto Hall Plantation Architectural Review Board

New Construction – Change Request Form

Owner: _____
Lot: _____
Address: _____

Telephone No.: _____

Builder: _____
Address: _____

Telephone No.: _____
Emergency No.: _____
Fax No.: _____

Brief description of change(s) from ARB Approved Plans:
(Attach revised or marked-up plans for siting or exterior design changes, attach samples for color changes – 8 1/2" x 11")

(use other side of form if additional space is needed)

Submitted by: _____

Owner _____ Architect _____ Builder _____

Phone No. _____

Date: _____

Palmetto Hall ARB Checklist

Owner's Name _____ Date _____

Property Address _____

Application

- 1. Submit original form
- 2. Complete form in it's entirety
- 3. All parties are to sign
- 4. Submission fee due at submission. Submissions with no fees will not be reviewed

Site Plan

- 1. Use Scale of 1/8 inch equals 1 foot
- 2. Use Tree and Topo noting all trees 8" or larger in diameter measured at 4' above grade by species and size.
Trees to be removed are to be clearly marked with an "X".
- 3. Show all property lines and elevations of lot corners/culvert inverts/edge of roadway.
- 4. Certified drainage plan required
- 5. Show exact locations (entire side outline) and first finished floor elevations of existing homes on adjoining lots.
- 6. Show location of amenity – lagoon/golf course/cart path line.
- 7. Show service entry to property for utilities, service yard and mechanical platform.
- 8. Show location of builder's sign, permit posting sign, dumpster and portable toilet.
- 9. Show exact location of home as well as all required and actual setbacks (measured from the nearest vertical construction over 3' in height)
- 10. Show driveway location/layout to include 12' culvert as required.
- 11. Show exact location of pool/deck/deck enclosure.
- 12. Silt fencing at nearest drains/culverts to subject lot
- 13. Tree protection on specimen trees
- 14. Hay at entrance to subject lot.
- 15. Rope off neighboring properties and cul-de-sacs

House Plans

- 1. Use scale of ¼ inch equals 1 foot.
- 2. Show exterior elevations/foundation grading at all sides.
- 3. Show floor plans.
- 4. Show service yard/gas tanks/pool equipment locations
- 5. Show roof and foundation plans – 2' minimum exposed foundation
- 6. Show typical wall section

Color Board

- 1. 8 ½" x 11" foam core with chips of key materials in the actual colors and materials to include body/trim/roof/front door/garage door/shutters/etc. Note: garage doors to match body color of house.

Photo Sheets

- 1. Per application

Landscape Plan

- 1. Use scale of 1/8 inch equals 1 foot
- 2. Show types/sizes/spreads of existing trees/plants
- 3. Show common/botanical names, species, container size, spread, height, spacing of plants to be installed.
- 4. House to be fully landscaped on all sides with the greater of 3 gallon or 50% foundation height coverage at installation
- 5. Sod at street/lagoon (if applicable). Sod to be incorporated into the overall plan.
- 6. Show plants drawn to scale of their approximate size at maturity
- 7. North arrow and flow of water using drainage arrows.
- 8. Details of any lighting/stepping stones/benches/walks/ etc.